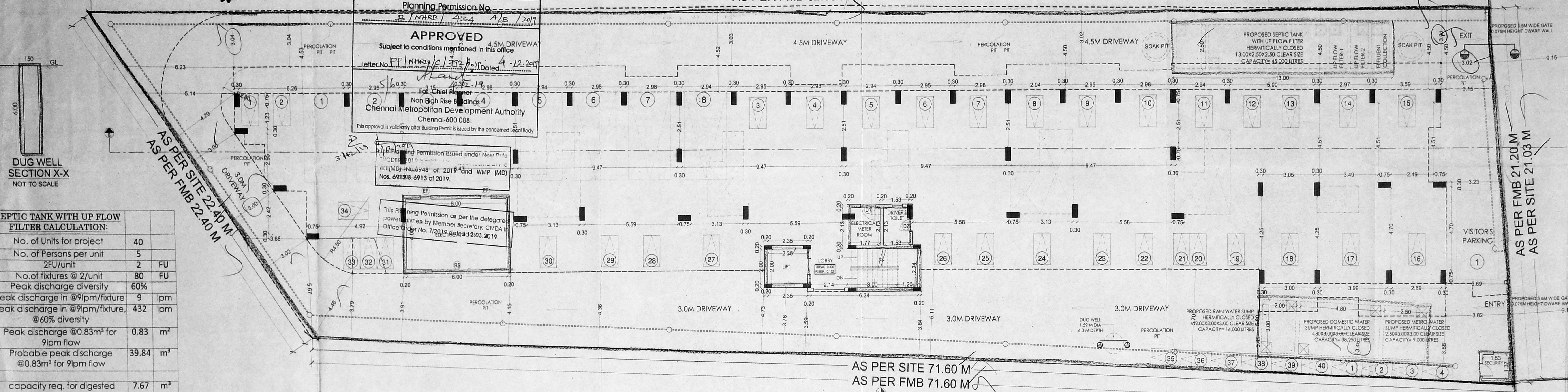


OFFICE COPY

AS PER SITE 82.60 M  
AS PER FMB 82.60 M



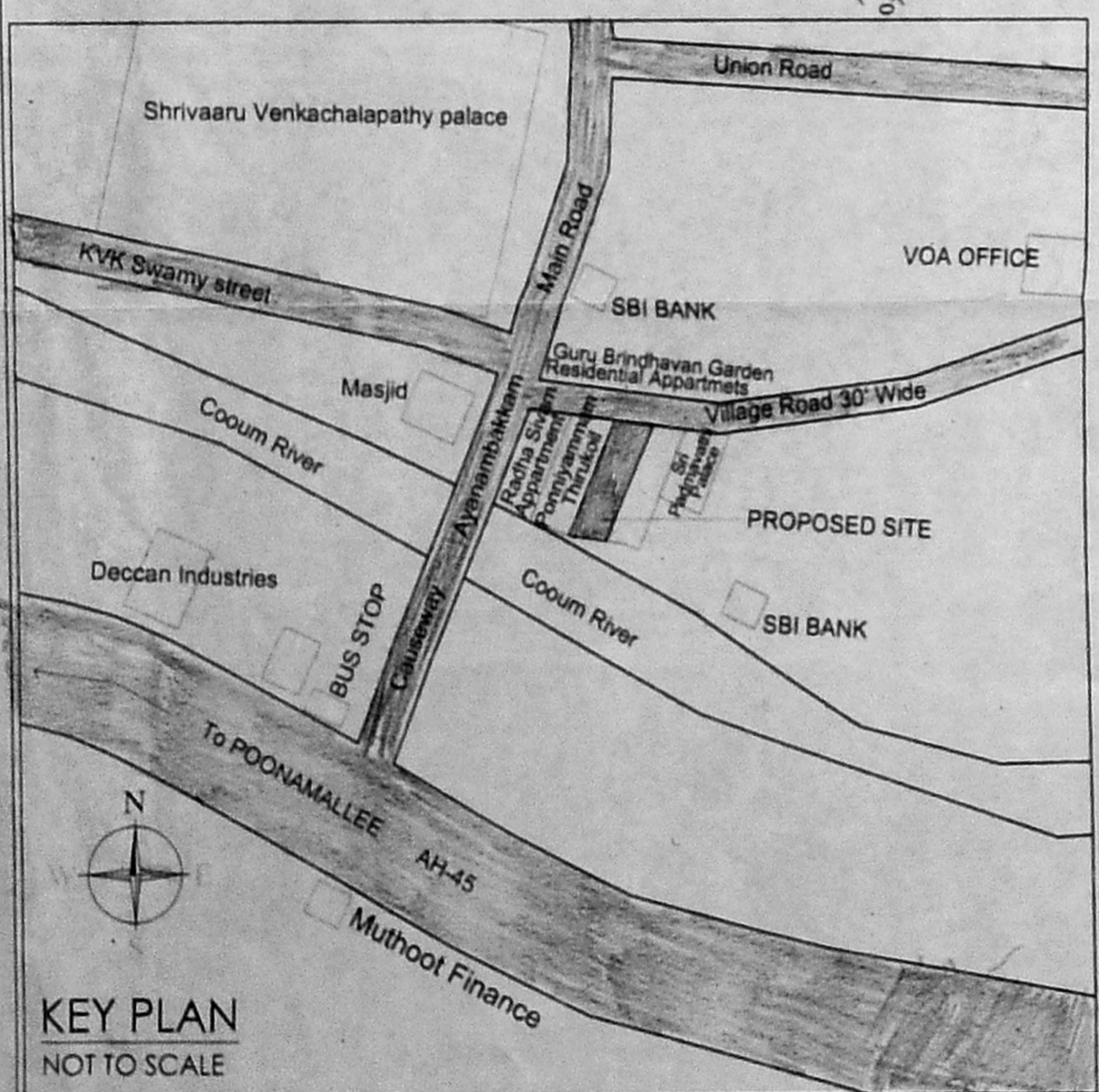
**SEPTIC TANK WITH UP FLOW FILTER CALCULATION:**

No. of Units for project	40
No. of Persons per unit	5
2FU/unit	2
No. of fixtures @ 2/unit	80
Peak discharge diversity	60%
Peak discharge in @9lpm/fixture	9 lpm
Peak discharge in @9lpm/fixture, @60% diversity	432 lpm
Peak discharge @0.83m³ for 9lpm flow	0.83 m³
Probable peak discharge @0.83m³ for 9lpm flow	39.84 m³
capacity req. for digested sludge @ 7.67m³/100pax	7.67 m³
Storage capacity for sludge @ 7.67m³/100pax	15.34 m³
required liquid depth	0.39 m
0.45m for free board	0.45 m
1m for liquid depth	1.00 m
Depth required	1.84 m
Available width at site	2.5 m
Depth of tank	1.84 m
Length to be 4 times the width	10 m
Volume achieved	45.88 m³

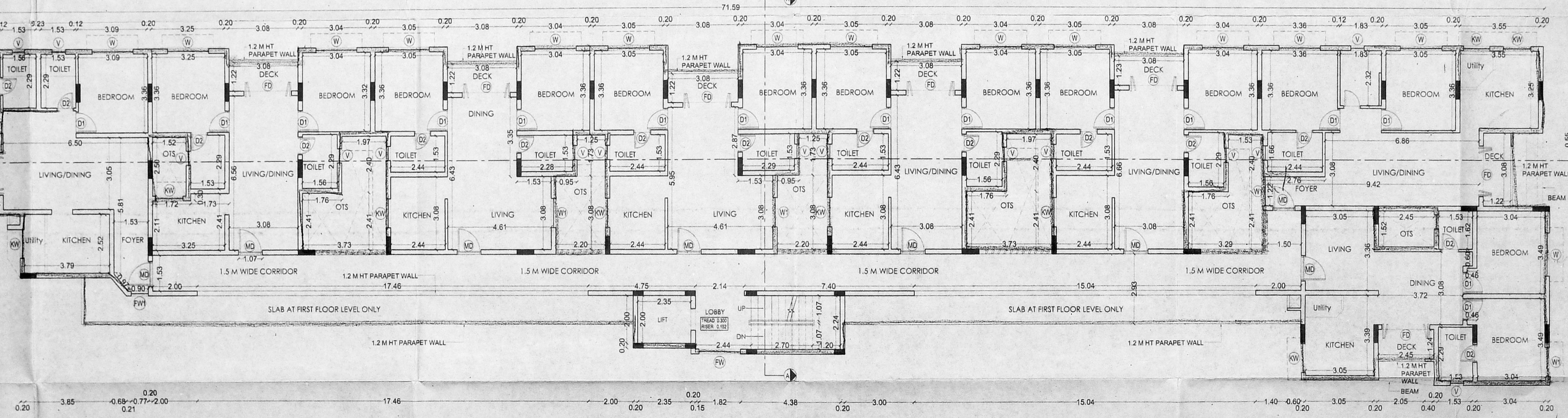
**UPFLOW FILTER**

Capacity of 200 users, As per IS:2470, 0.04-0.05 m³/pax	9 m³
Depth (Assumed)	1 m
Hence area of up flow filter	9 m²
Volume of final effluent sump	3 m³
Volume of up flow filter (1)	3 m³
Volume of up flow filter (2)	3 m³

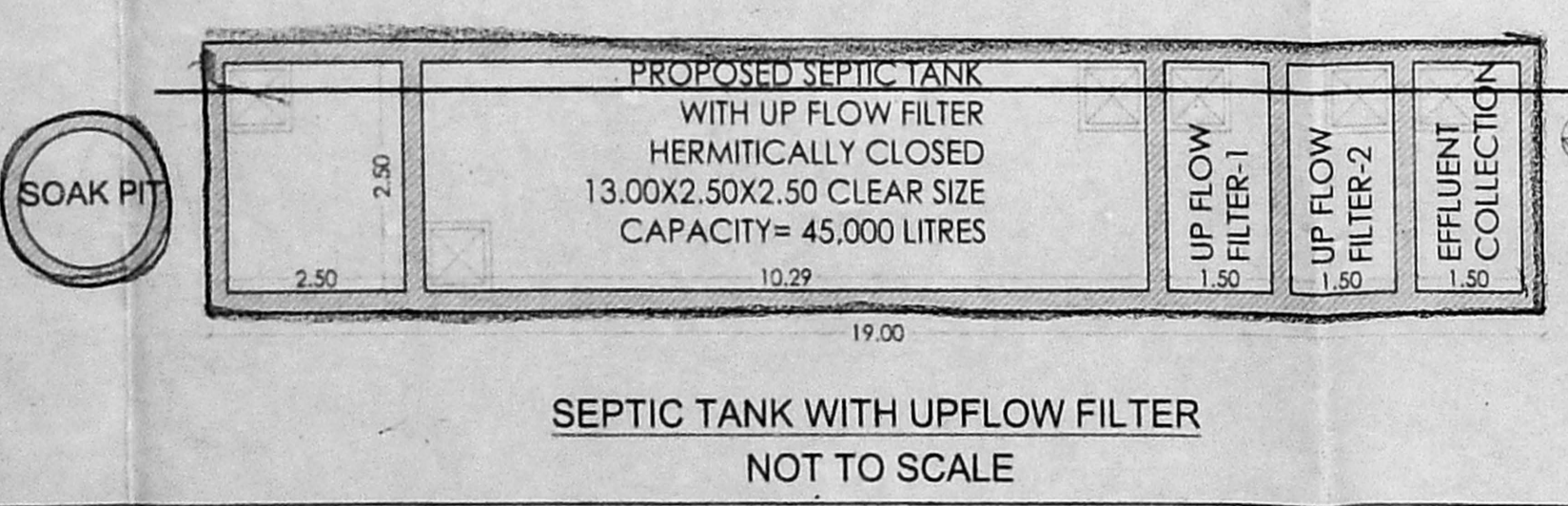
SITE CUM STILT FLOOR PLAN



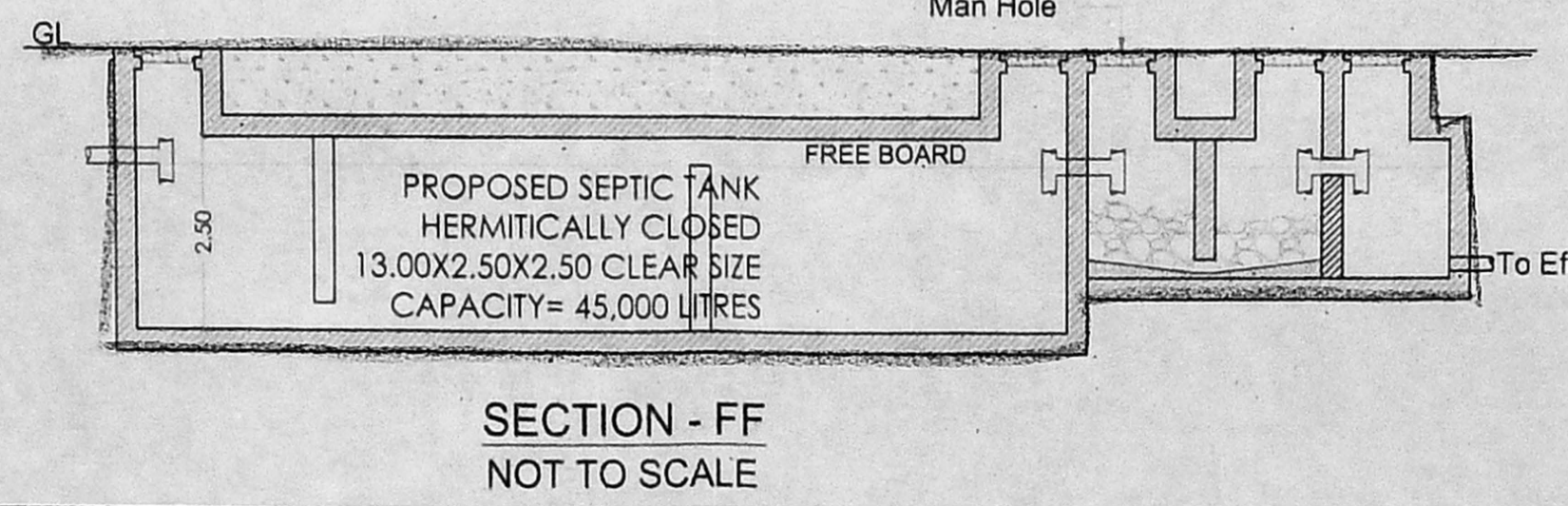
KEY PLAN NOT TO SCALE



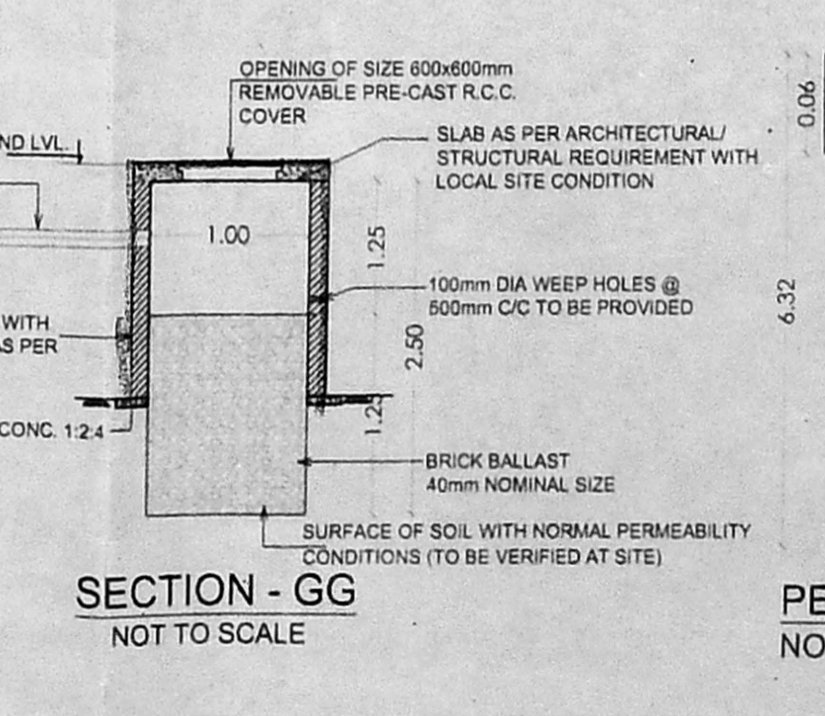
TYPICAL FLOOR PLAN (1st - 5th FLOOR)



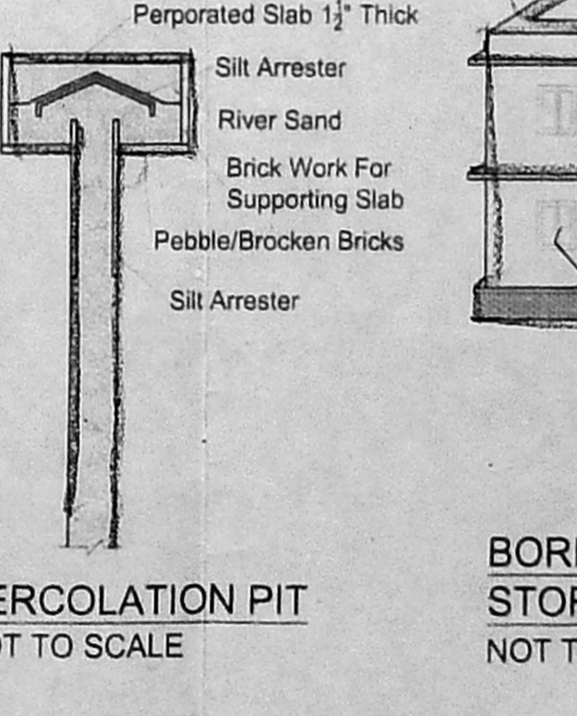
SEPTIC TANK WITH UPFLOW FILTER NOT TO SCALE



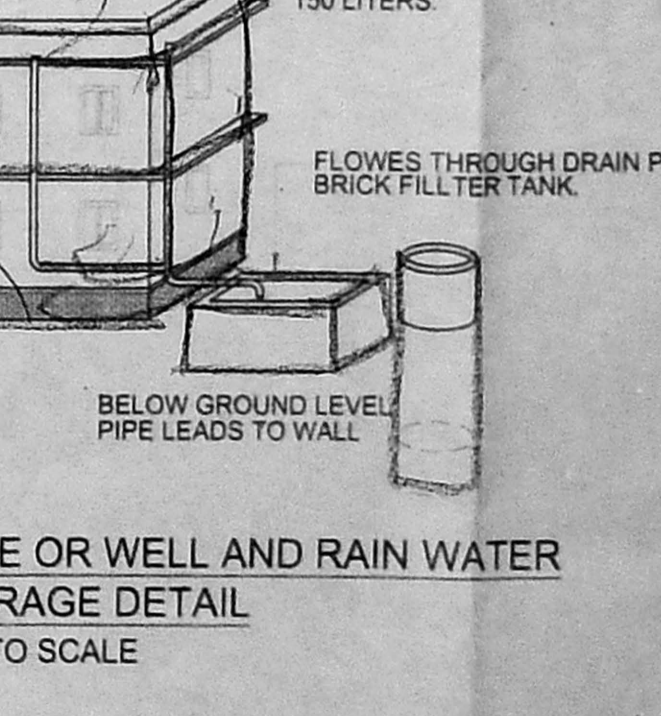
SECTION - FF NOT TO SCALE



SECTION - GG NOT TO SCALE



PERCOLATION PIT NOT TO SCALE



BORE OR WELL AND RAIN WATER STORAGE DETAIL NOT TO SCALE

**SPECIFICATION:**  
FOUNDATION: IN R.C.C. FOOTING...  
WALLS: BRICK WORK 110 CM THICK FOR 0.200 THK...  
ROOFING: ALUMINIUM FRAMES...  
PAINTING: TWO COATS OF CEMENT PAINT OVER...  
FLOORING: IN VITRIFIED TILES CM 15.

**SCHEDULE OF JOINERY:**

S.NO	ITEM	SIZE	DESCRIPTION
01	MD	1.07 x 2.14	MAIN DOOR
02	D1	0.90 x 2.14	DOOR
03	D2	0.75 x 2.14	DOOR
04	FD	2.14 x 2.14	FRENCH DOOR
05	FD1	1.83 x 2.04	FRENCH DOOR
06	FW	1.83 x 2.04	FRENCH WINDOW
07	FW1	0.75 x 2.04	FRENCH WINDOW
08	W	1.83 x 2.14	WINDOW
09	W1	1.22 x 2.14	WINDOW
10	KW	1.22 x 1.22	KITCHEN WINDOW
11	V	0.81 x 0.90	VENTILATOR
12	EF	0.81 x 0.90	EXHAUST FAN
13	RS	3.00 x 2.14	ROLLING SHUTTER

**LEGEND:**  
PROPOSED ROAD  
BOUNDARY  
SEWER LINE  
WATER LINE

**AREA STATEMENT:**  
AREA AS PER SITE = 1650.00 Sq.M  
AREA AS PER PATTA = 1650.00 Sq.M  
AREA AS PER DOCUMENT = 1659.20 Sq.M

**FSI CALCULATION:**

FLOORS	FSI AREA (Sq.M)
STILT FLOOR	33.660
1ST FLOOR	712.470
2ND FLOOR	712.470
3RD FLOOR	712.470
4TH FLOOR	712.470
5TH FLOOR	712.470
TOTAL	3596.01

FSI ACHIEVED = 3596.01 / 1650.00 = 2.179

**PARKING REQUIREMENT:**  
NO. OF CARS REQUIRED = 8 + 1 NOS  
NO. OF CARS PROVIDED = 8 + 1 NOS  
NO. OF TWO WHEELER PROVIDED = 40 + 4 NOS  
NO. OF TWO WHEELER REQUIRED = 40 + 4 NOS

**PROPOSAL:**  
PLAN SHOWING THE PROPOSED CONSTRUCTION OF STILT FLOOR+5 FLOORS RESIDENTIAL BUILDING WITH 40 DWELLING UNITS WITH PREMIUM FSI AT DOOR NO.3, PONNIAMMAN KOVIL STREET, VANAGARAM, CHENNAI-600095, COMPRISED IN S.No.105/6A OF ADAYALAMPATTU VILLAGE WITHIN VILLIVAKKAM PANCHAYAT UNION.

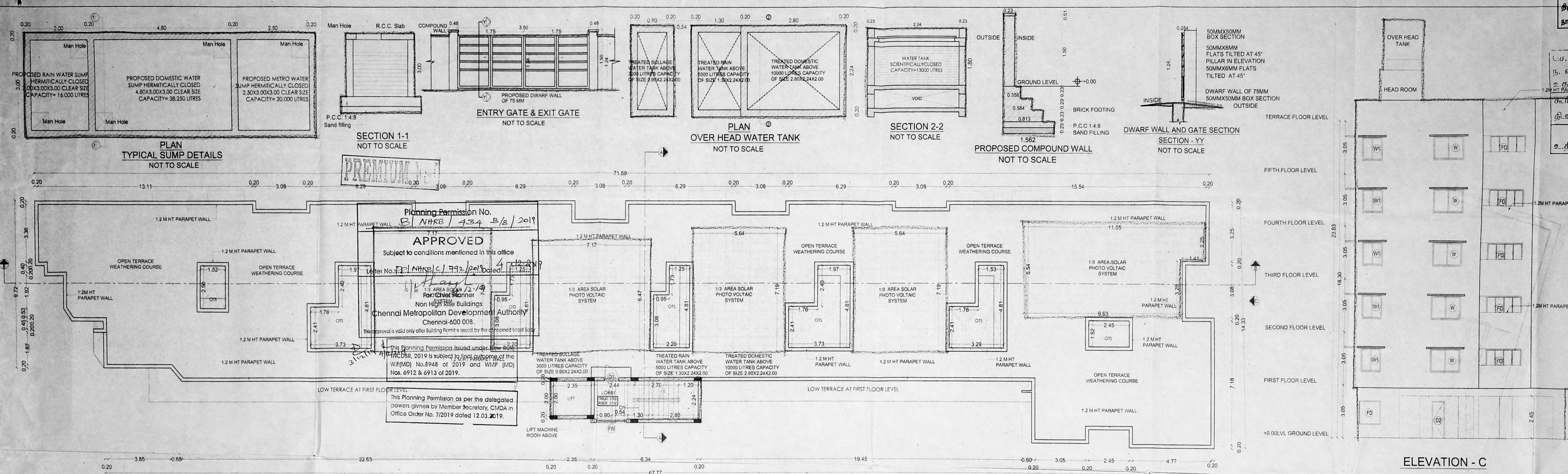
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Director

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Rajaram Agartham  
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CMDA, Reg No RA/Gr/19/02/006

ALL DIMENSIONS ARE IN METER.  
SCALE 1 : 100 SHEET NO - 1/2





**FOUNDATION SPECIFICATION:**

WALLS: HT BRICKWORKING IN 1:3 FOR 1000MM  
 WALL & IN CH 1:3 FOR 1000MM  
 JOINERY: IN WELL SEASONED WOOD  
 R.C.C. 1:1.5:8  
 PLASTERING: IN CM 1:3 FOR CEILING & CM 1:5 FOR WALLS  
 PAINTING: TWO COATS OF CEMENT PAINT OVER ONE COAT OF PRIMER TWO COATS OF ENAMEL PAINT FOR JOINERY

**SCHEDULE OF JOINERY**

S.No	ITEM	SIZE	DESCRIPTION
01	MD	1.07 x 2.14	MAIN DOOR
02	D1	0.90 x 2.14	DOOR
03	D2	0.75 x 2.14	DOOR
04	FD	1.83 x 2.14	FRENCH DOOR
05	D1	1.83 x 2.14	FRENCH DOOR
06	FW	1.83 x 2.04	FRENCH WINDOW
07	FW1	0.76 x 2.04	FRENCH WINDOW
08	W	1.83 x 2.14	WINDOW
09	W1	1.22 x 2.14	WINDOW
10	KW	1.22 x 1.22	KITCHEN WINDOW
11	V	0.81 x 0.90	VENTILATOR
12	EF	0.81 x 0.90	EXHAUST FAN
13	RS	3.00 x 2.14	ROLLING SHUTTER

**LEGEND:**

- PROPOSED
- ROAD
- BOUNDARY
- SEWER LINE
- WATER LINE

**AREA STATEMENT:**

AREA AS PER SITE	= 1650.00 Sq.M
AREA AS PER PATTA	= 1650.00 Sq.M
AREA AS PER DOCUMENT	= 1659.20 Sq.M

**FSI CALCULATION:**

FLOORS	FSI AREA (Sq.M)
STILT FLOOR	33.960
1ST FLOOR	712.470
2ND FLOOR	712.470
3RD FLOOR	712.470
4TH FLOOR	712.470
5TH FLOOR	712.470
TERRACE FLOOR	
<b>TOTAL</b>	<b>3596.01</b>

FSI ACHIEVED = 3596.01 / 1650.00 = 2.179

**PARKING REQUIREMENT:**

NO OF CARS REQUIRED = 8 + 1 NOS  
 NO OF CARS PROVIDED = 8 + 1 NOS  
 NO OF TWO WHEELER PROVIDED = 40 + 4 NOS  
 NO OF TWO WHEELER REQUIRED = 40 + 4 NOS

**PROPOSAL:**  
 PLAN SHOWING THE PROPOSED CONSTRUCTION OF STILT FLOOR-5 FLOORS RESIDENTIAL BUILDING WITH 40 DWELLING UNITS WITH PREMIUM FSI AT DOOR NO.3, PONNAMMAN KOVIL STREET, VANAGARAM, CHENNAI-600095, COMPRISED IN S.NO.105/6A OF ADAYALAMPATTU VILLAGE WITHIN VILLIVAKKAM PANCHAYAT UNION.

**STRUCTURAL CONSULTANT:**  
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**APPLICANT:**  
 For VNR HOMES PRIVATE LIMITED  
 Director

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